



Healthy Homes Standards Assessment

Property Address: 31 Sample St, Fendalton, Christchurch, Can 8014



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AHC Number 000129-00000416

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General Info

Property Address

31 Sample St
Fendalton
Christchurch Can 8014

Date of Inspection

2/11/2021

Report ID

20211102-31-Sample-St

Customer(s)

Dr. Sample LANDLORD

Time of Inspection

15:30

Real Estate Agent

Sample PROPERTYMANAGER
Sample Property Management

Inspection Details

Temperature:

Over 15°C

Weather:

Clear

Ground/Soil surface condition:

Damp

Rain in last 3 days:

No

Comment Key & Definitions

General Information

This Assessment aims to ensure that the rental property inspected meets the healthy homes standards which became law by 1 July 2019.

The healthy homes standards introduce specific and minimum standards for heating, insulation, ventilation, moisture ingress and drainage, and draught stopping in rental properties.

All private rentals must comply within 90 days of any new or renewed tenancy after 1 July 2021, with all private rentals complying by 1 July 2024. All boarding houses must comply by 1 July 2021. All houses rented by Kāinga Ora (formerly Housing New Zealand) and registered Community Housing Providers must comply by 1 July 2023.

Landlords are responsible for maintaining and improving the quality of their rental properties. These standards will help ensure landlords have healthier, safer properties and lower maintenance costs for their investments. The standards will also make it easier for tenants to keep their homes warm and dry.

There are full copies of regulation and requirements in below links:

1. [Residential Tenancies Act 1986](#)
2. [Tenancy Services - Healthy Homes](#)
3. [Residential Tenancies \(Healthy Homes Standards\) Regulations 2019](#)
4. [Residential Tenancies \(Smoke Alarms and Insulation\) Regulations 2016](#)
5. [New Zealand Standard \(Energy efficiency - Installing bulk thermal insulation in residential buildings\) 4246:2016](#)

Pass Fail and reason Caution Pass

1. CERTIFICATE

This property has been visited and this assessment based on our inspection of the house. This assessment gives you information to help you make the insulation, heating, ventilation, moisture ingress & drainage and draught stopping statements required in a tenancy agreement. A full copy of the requirements is available at <https://www.tenancy.govt.nz/healthy-homes/>. Please note all our inspection and work follow the Health and Safety at Work Act 2016, New Zealand Standard and meet the requirements of the Residential Tenancies Act and the Healthy Homes Standards Regulations.



Inspection Details:

Building Age:

1960s

Building Type:

Stand along house

Bedroom:

3

Bathroom:

1

Living Area:

1

Dining Area:

1

Separate Toilet:

1

Separate Laundry:

1

Garage:

External Double

Floor Area:
Ground area
m² : 100
Land Area:
Section Area
m² : 640

		Com	Not
1.0	SMOKE ALARM	•	
1.1	INSULATION STANDARD		•
1.2	VENTILATION STANDARD	•	
1.3	MOISTURE INGRESS & DRAINAGE STANDARD		•
1.4	DRAUGHT SPOTTING STANDARD		•
1.5	HEATING STANDARD	•	
		Com	Not

Com= Compliant, Not= Not Compliant

At the time of inspection, with the requirements of the Residential Tenancies Act and the Healthy Homes Standards, the assessment of this property is: NOT COMPLIANT

2. SMOKE ALARM ASSESSMENT



Working smoke alarms or detectors are compulsory in all rental homes. New smoke alarms must be photoelectric and have a long battery life, or be hard-wired.

Inspection Details:

Existing Smoke Alarm:

Long-life Battery
Expiry Date : 2026

		Pas	Fai	N/A
2.0	There is at least one within 3 metres of each bedroom door, or in every room where a person sleeps	•		
2.1	There is at least one in each level or story of a multi-story or multi-level home	•		
2.2	There is at least one in all rental homes, boarding houses, rental caravans, and self-contained sleep-outs.	•		
2.3	The existing alarms are within the expiration in each location, and in working order	•		
2.4	The new alarm are photoelectric, have a battery life of at least eight years, or be hard-wired, installed according to the manufacturer's instructions and meet international standards.			•
		Pas	Fai	N/A

Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

2.0 hallway smoke alarm long-life battery expire in 2026.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)



2.0 Item 4(Picture)

Meets the requirements by the Residential Tenancy Act 2016

Meet the Tenancy Services Smoke alarm requirements

3. INSULATION-CEILING

Ceiling insulation has been compulsory in all rental homes since 1 July 2019, where it is reasonably practicable to install. Existing ceiling insulation may need to be topped up or replaced if it is not in a reasonable condition, and in most situations, existing ceiling insulation needs to be at least 120mm thick. If ceiling insulation needs to be topped up, it needs to meet minimum R3.3 in Christchurch. 'R' stands for resistance - an R-value is a measure of how well insulation resists heat flow.



Inspection Details:

Roof Cavity Access:

Accessible

Insulation Material:

Fibreglass segments≥R3.6
Loose type insulation
Pinkbatt insulation

Insulation Thickness:

≥200mm

Insulation Condition:

Near new
As the age of the building

		Pas	Fai	N/A
3.0	Ceiling insulation thickness	•		
3.1	Ceiling insulation free of dent and gap	•		
3.2	Access hatch(manhole) cover with insulation	•		
3.3	Correct distance away objects such as downlight	•		
		Pas	Fai	N/A

Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

3.0 There are old loose-fill type insulation and recently installed Bradford Gold fibreglass ceiling R3.6 insulation present in the roof cavity. The R3.6 ceiling insulation segments are over 180mm. Overall, The total thickness of loose-fill type insulation and fibreglass insulation is above the requirement of Healthy homes standards-R3.3.



3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Picture)



3.0 Item 4(Picture)



3.0 Item 5(Picture)

3.1 Insulation with gaps, some are piled up, and some are scattered around, However not in major.



3.1 Item 1(Picture)



3.1 Item 2(Picture)



3.1 Item 3(Picture)



3.2 Insulation above the manhole.



3.2 Item 1(Picture)



3.2 Item 2(Picture)

Meets the requirements by the Residential Tenancy Act 2016

Meets the requirements by the Healthy Homes Standards

Meets the installation & safety requirements of NZS 4246:2016

4. INSULATION-UNDERFLOOR



Underfloor insulation has been compulsory in all rental homes since 1 July 2019, where it is reasonably practicable to install. underfloor insulation needs a minimum R-value of 1.3. 'R' stands for resistance - an R-value is a measure of how well insulation resists heat flow.

Inspection Details:

Underfloor Access:

Accessible

Insulation Material:

Polyester

Insulation Thickness:

≥100mm

Insulation Condition:

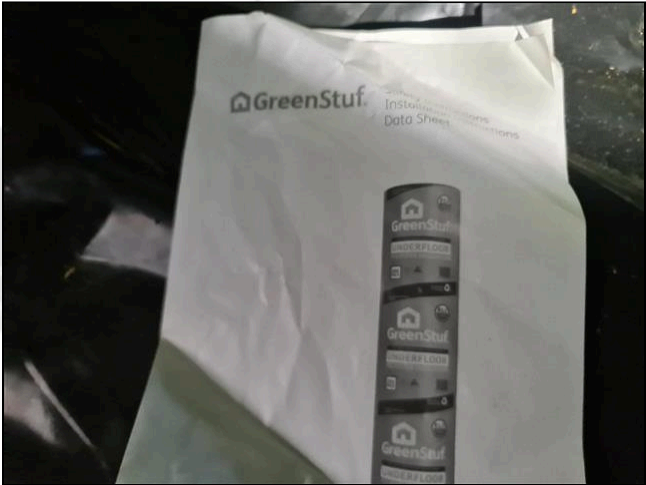
Near new

		Pas	Fai	N/A
4.0	Underfloor insulation thickness	•		
4.1	Underfloor insulation free of dent and gap		•	
4.2	Access hatch (manhole) cover with insulation	•		
4.3	Correct distance away objects such as plumbing	•		
		Pas	Fai	N/A

Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

4.0 Under floor Greenstuf R1.5 insulation.



4.0 Item 1(Picture)



4.0 Item 2(Picture)

4.1 There are missing insulation close to the foundation concrete. And about 2/3 insulation has been installed with air gaps.

Please refer [New Zealand Standard \(Energy efficiency - Installing bulk thermal insulation in residential buildings\) 4246:2016](#) section 7.3. to see correct actions:

Action 6: "Run the product in a continuous length between the floor joists and over the main bearers. Ensure that any

designated outer layer of the insulation product is facing downwards. In situations where there are blocks between floor joists do not run insulation over these. Make sure insulation stops and starts each side of any such blocking.

Action 7: "Install insulation so that it touches the underside of the floor, without being compressed. Pull insulation tight between the joists to ensure there is no air gap or air movement between the insulation material and the floor, but not so tight as to affect the material loft or thickness"



4.1 Item 1(Picture)



4.1 Item 2(Picture)



4.1 Item 3(Picture)



4.1 Item 4(Picture)



4.1 Item 5(Picture)



4.1 Item 6(Picture)

4.2 Manhole cover with R1.5 underfloor insulation.



4.2 Item 1(Picture)



4.2 Item 2(Picture)

4.3 Correct distance around objects in the subfloor.



4.3 Item 1(Picture)



4.3 Item 2(Picture)

Does not meet the requirements by the Healthy Homes Standards

5. VENTILATION-RANGEHOOD

All kitchens must have an extractor fan that ventilates externally. The fan installed after 1 July 2019 must have a minimum diameter of 150mm, or have an exhaust capacity of at least 50 L/s



Inspection Details:

Kitchen Extractor:

Rangehood

Venting:

Vented to external

Installed Date:

Before 1 July 2019

Ducting Diameter:

≥150mm

		Pas	Fai	N/A
5.0	Kitchen extractor fan and details	•		
5.1	Extractor fan is in working order	•		
5.2	Ducting pipe in roof cavity	•		
5.3	External vent	•		
		Pas	Fai	N/A

Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

5.0 Rangehood in the kitchen.



5.0 Item 1(Picture)



5.0 Item 2(Picture)

5.2 Rangehood ducting in the roof cavity.

5.2 Item 1(Picture)



5.2 Item 2(Picture)

5.3 Rangehood external vent. air flows out when rangehood is working.

5.3 Item 1(Picture)

Meets the requirements by the Residential Tenancy Act 2016

Meets the requirements by the Healthy homes standards

6. VENTILATION-BATHROOM

All bathrooms must have an extractor fan that ventilates externally. The fan installed after 1 July 2019 must have a minimum diameter of 120mm, or have an exhaust capacity of at least 25 L/s



Inspection Details:

Bathroom Extractor:

Extractor fan

Venting:

Vented to external

Installed Date:

Before 1 July 2019

Ducting Diameter:

≥120mm

		Pas	Fai	N/A
6.0	Bathroom extractor fan and details	•		
6.1	Extractor fan is in working order	•		
6.2	Ducting pipe in roof cavity	•		
6.3	External vent	•		
		Pas	Fai	N/A

Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

6.0 Bathroom fan in blue area. 3 in 1 unit fan is not working.



6.0 Item 1(Picture)



6.0 Item 2(Picture)



6.0 Item 3(Picture) toilet fan



6.2 Bathroom ducting pipe in the roof cavity.



6.2 Item 1(Picture)



6.2 Item 2(Picture)

6.3 Bathroom fan external vent in blue area. air flows out when rangehood is working.



6.3 Item 1(Picture)



6.3 Item 2(Picture)

Meets the requirements by the Healthy homes standards

7. VENTILATION-WINDOW & DOOR



Rental properties must have at least one door or window (including skylights) that opens to the outside in all bedrooms, dining rooms, living rooms, lounges and kitchens. The openable windows and doors must have a total area of at least 5% of the floor area in each respective room. The windows or doors must be able to be fixed in the open position.

Inspection Details:

- Bedroom1:**

Pass
- Bedroom2:**

Pass
- Bedroom3:**

Pass
- Bathroom1:**

Pass
- Living room:**

Pass
- Kitchen:**

Pass
- Laundry:**

Pass
- Toilet:**

Pass

		Pas	Fai	N/A
7.0	There is at least one door or window (including skylights) that opens to the outside in all bedrooms, dining rooms, living rooms, lounges and kitchens.	•		
7.1	The openable windows and doors have a total area of at least 5% of the floor area in each respective room.	•		
7.2	The windows or doors are able to be fixed in the open position.	•		
		Pas	Fai	N/A

Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

7.0 Openable windows.



7.0 Item 1(Picture)



7.0 Item 2(Picture)



7.0 Item 3(Picture)



7.0 Item 4(Picture)



7.0 Item 5(Picture)



7.0 Item 6(Picture)



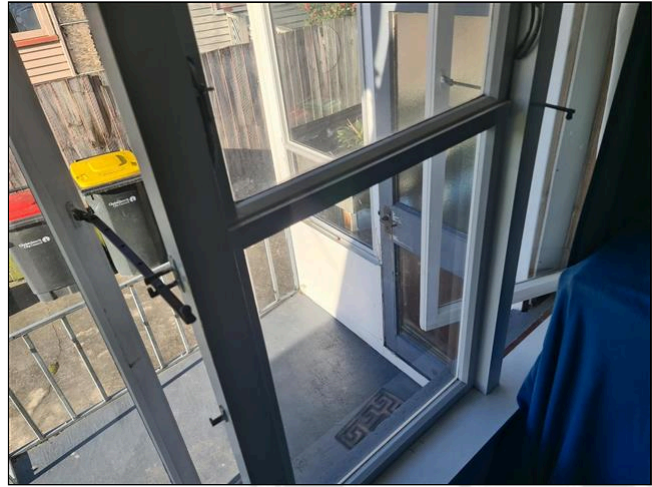
7.0 Item 7(Picture)



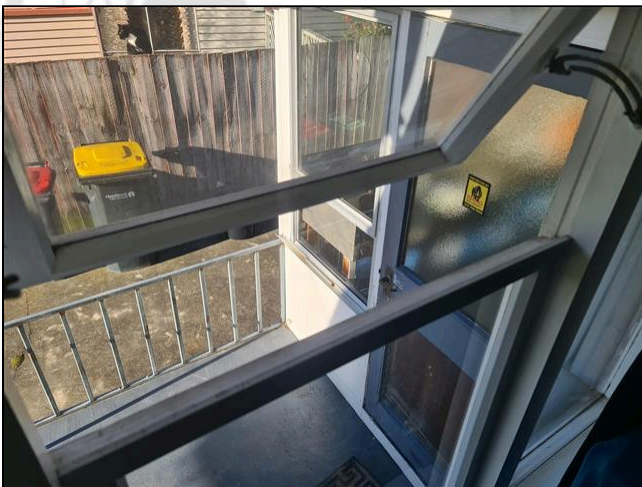
7.0 Item 8(Picture)



7.0 Item 9(Picture)



7.0 Item 10(Picture)



7.0 Item 11(Picture)

Meets the requirements by the Residential Tenancy Act 2016

Meets the requirements by the Healthy homes standards

8. MOISTURE INGRESS & DRAINAGE

Rental properties must have efficient drainage for the removal of storm water, surface water and ground water, including an appropriate outfall. The drainage system must include gutters, downpipes and drains for the removal of water from the roof. The functionality of guttering, downpipes and drainage can be difficult to visually assess during dry weather or light rain. Only limited visual, non-invasive inspection conducted on the visible areas of the building, not including concealed or closed in areas such as plumbing, drainage, heating, framing, ventilation, insulation or wiring. Any areas blocked in terms of vision or access such as furniture, floor coverings, appliances, personal property, vehicles or vegetation was not moved.



Inspection Details:

Gutter Material:

Metal

Downpipe Material:

Metal

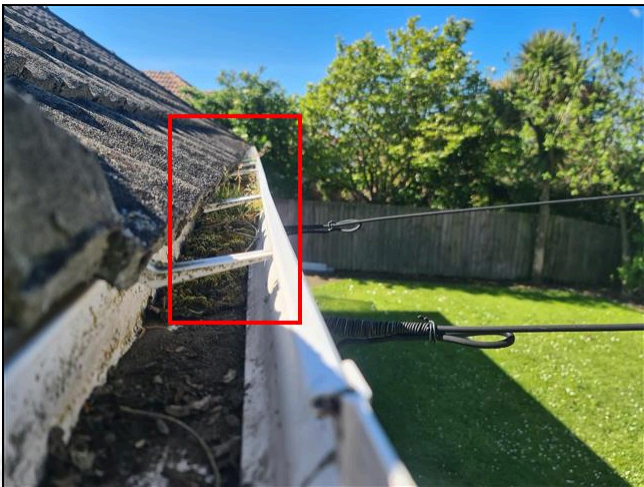
PVC

		Pas	Fai	N/A
8.0	GUTTERS CARRY WATER AWAY FROM ALL ROOF, SURFACE or GROUND	•		
8.1	GUTTERS CONNECT to DOWNPIPE DIRECTLY or VIA CONNECTION	•		
8.2	GUTTERS & DOWNPIPES ARE SUFFICIENT SIZE to NOT OVERFLOW	•		
8.3	GUTTERS HAS SUFFICIENT FALL to PREVENT STAGNANT WATER	•		
8.4	GUTTERS & DOWNPIPES ARE INTACT & NOT LOOSE	•		
8.5	GUTTERS & DOWNPIPES ARE FREE of BLOCKAGE		•	
8.6	DOWNPIPES DIRECT WATER to AN APPROPRIATE OUTFALL		•	
8.7	NO LEAKING WATER PIPES, GULLY TRAPS & WASTE PIPES	•		
8.8	NO RAINWATER DISCHARGED UNDER FLOOR or TOO CLOSE to HOUSE		•	
8.9	NO LEAKS FROM WET AREAS SUCH as BATHROOM & KITCHEN SINK		•	
8.10	NO SURFACE WATER SURROUNDING FLOWING UNDER THE BUILDING			•
8.11	NO WATER RISING up THROUGH BRICK or CONCRETE	•		
		Pas	Fai	N/A

Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

8.5 The gutter is almost blocked at the marked area, needs to be cleaned and tested again.



8.5 Item 1(Picture)



8.5 Item 2(Picture)



8.5 Item 3(Picture)



8.5 Item 4(Picture)



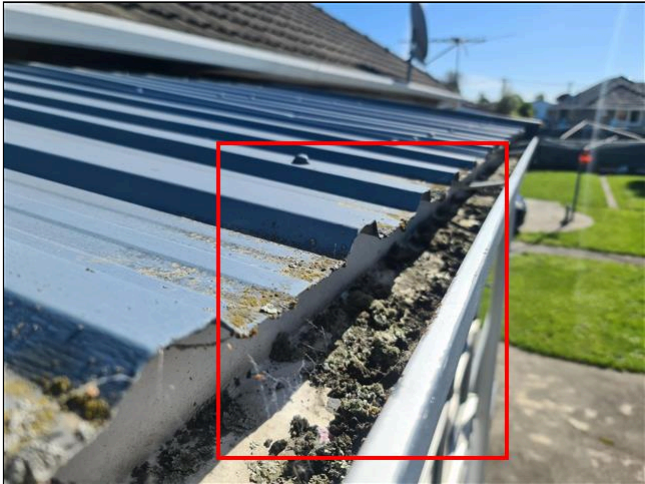
8.5 Item 5(Picture)



8.5 Item 6(Picture)



8.5 Item 7(Picture)



8.5 Item 8(Picture)

8.6 (1) Unable to check where the downpipe outside the laundry goes into, Please provide the storm water drainage plan for further action.



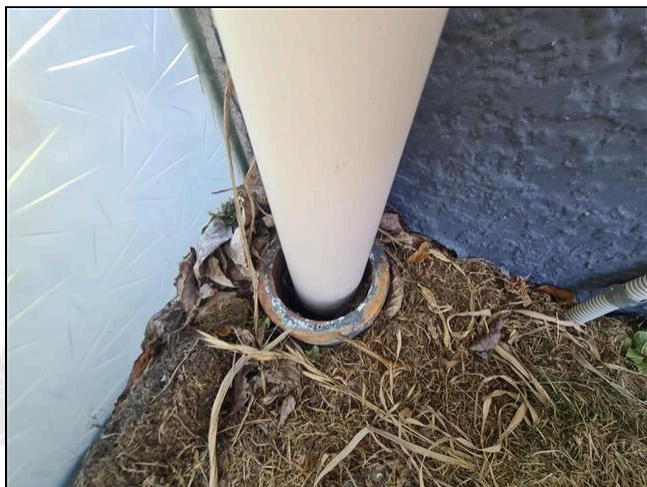
8.6 Item 1(Picture)



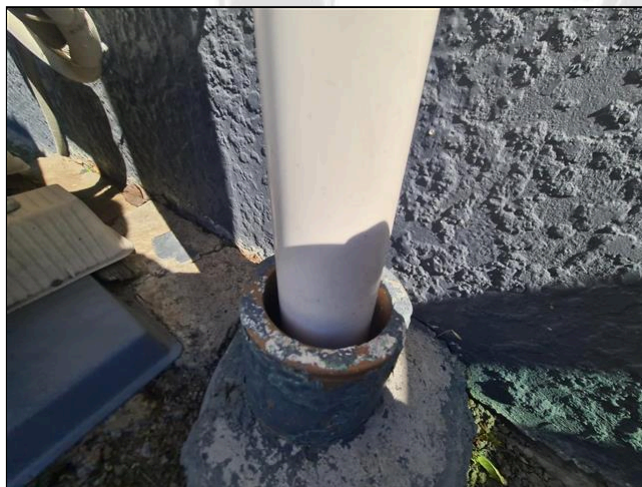
8.6 Item 2(Picture)

8.6 (2) The rest of the downpipes direct the rain water to the appropriate out falls.

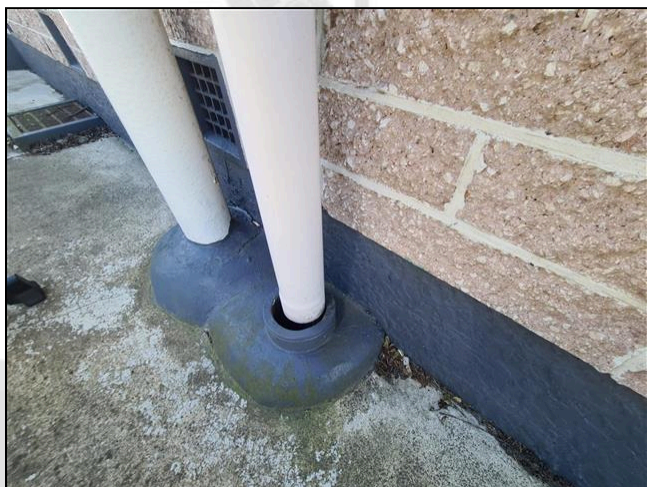
An appropriate outfall will generally be the storm water system provided by your local council. However, an appropriate outfall may also be a properly working soakage system, natural watercourse, adequate water storage system or other constructed water way.



8.6 Item 3(Picture)



8.6 Item 4(Picture)

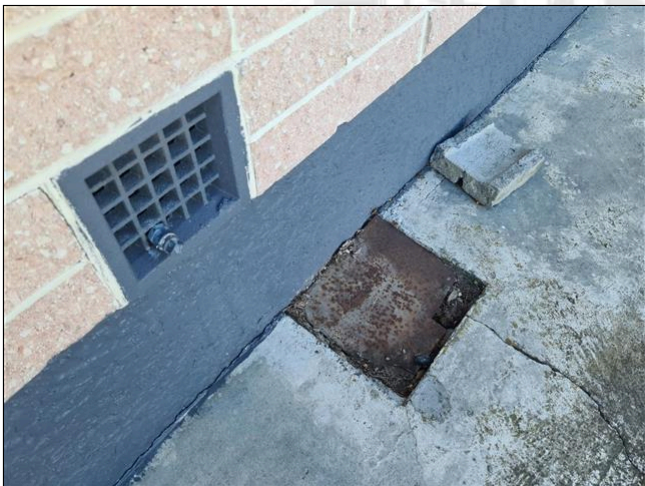


8.6 Item 5(Picture)

8.7 No leaking found near the gully traps and water pipes. Please understand that any areas blocked in terms of vision is not inspected.



8.7 Item 1(Picture)



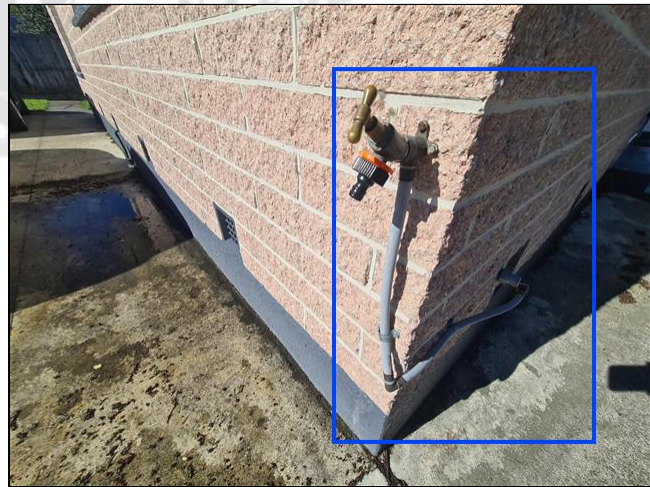
8.7 Item 2(Picture)



8.7 Item 3(Picture)



8.7 Item 4(Picture)



8.7 Item 5(Picture)



8.7 Item 6(Picture)

8.8 Please see 8.6.1

8.9 (1) The Hot water cylinder is consistently leaking to the subfloor. The hot water cylinder is due to be replaced, further plumbing action required.



8.9 Item 1(Picture)



8.9 Item 2(Picture)



8.9 Item 3(Picture)



8.9 Item 4(Picture)

8.9 (2) No leaking found in the rest of the property, where near the toilet and under the sinks. Please understand that any areas blocked in terms of vision is not inspected.



8.9 Item 5(Picture)



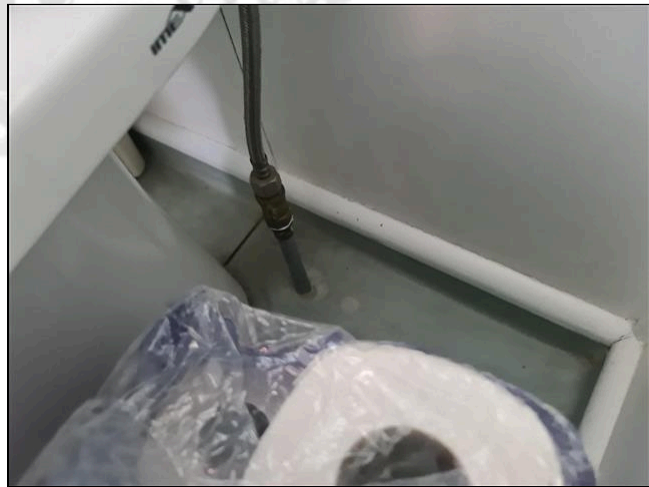
8.9 Item 6(Picture)



8.9 Item 7(Picture)



8.9 Item 8(Picture)



8.9 Item 9(Picture)



8.9 Item 10(Picture)



8.9 Item 11(Picture)

8.10 There are some surface water on the concrete path, it may be from the water tap in the corner.



8.10 Item 1(Picture)

Does not meet the requirements by the Residential Tenancy Act 2016

Does not meet the requirements by the Healthy homes standards

9. GROUND MOISTURE BARRIER

A ground moisture barrier must be installed if it is reasonably practicable to do so.

Inspection Details:



GMB Material:Polythene

GMB Thickness:250mu

		Pas	Fai	N/A
9.0	Ground moisture barrier inspection around manhole		•	
		Pas	Fai	N/A

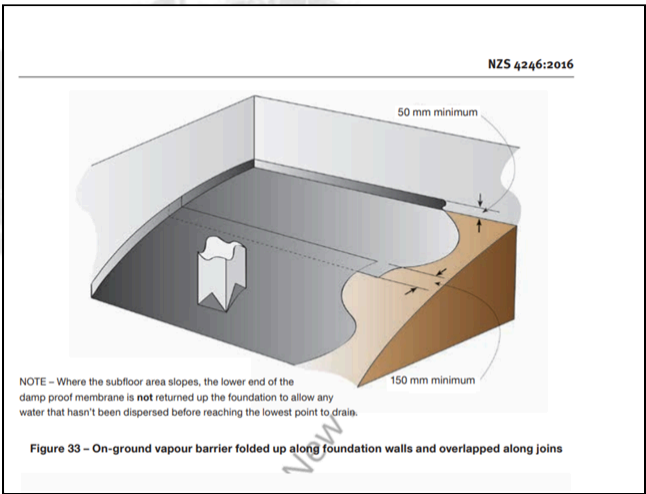
Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

9.0 Missing ground moisture barrier in the subfloor around the concrete foundation walls.

The Ground moisture barrier should be polythene film with a vapour flow resistance of no less than 50 MN s/g and a thickness of no less than 0.25mm. Suggest to use 250 micron polythene.

- Inside edge of the foundation walls and around the piles, There should be at least 50mm folded up polythene and taped to the piles.
- All joins and cuts should be taped, the tape should cover each side of the join at least 50mm.
- The overlap joins between polythene sheet should be at least 150mm.
- The overlaps and edges should be pinned or weight down at intervals of no more than 1m



9.0 Item 1(Picture)



9.0 Item 2(Picture)



9.0 Item 3(Picture)



9.0 Item 4(Picture)



9.0 Item 5(Picture)



9.0 Item 6(Picture)



9.0 Item 7(Picture)



9.0 Item 8(Picture)



9.0 Item 9(Picture)



9.0 Item 10(Picture)

Does not meet the requirements by the Residential Tenancy Act 2016

Does not meet the requirements by the Healthy homes standards

10. DRAUGHT STOPPING STANDARD

Landlords must block any unreasonable gaps and holes in walls, ceilings, windows, floors and doors that cause noticeable draughts. Open fireplaces must be blocked unless the tenant and landlord agree otherwise.



		Pas	Fai	N/A
10.0	No unreasonable gaps and holes in walls, ceilings, windows, floors and doors ≥ 3MM		•	
10.1	Open fireplace			•
		Pas	Fai	N/A

Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

10.0 (1) Draughts found in the kitchen, bedroom 1,2,3, toilet, need to be sealed.



10.0 Item 1(Picture)



10.0 Item 2(Picture)



10.0 Item 3(Picture)



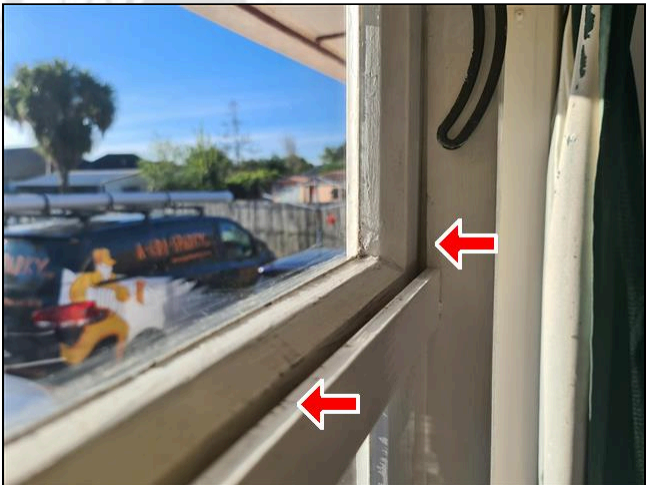
10.0 Item 4(Picture)



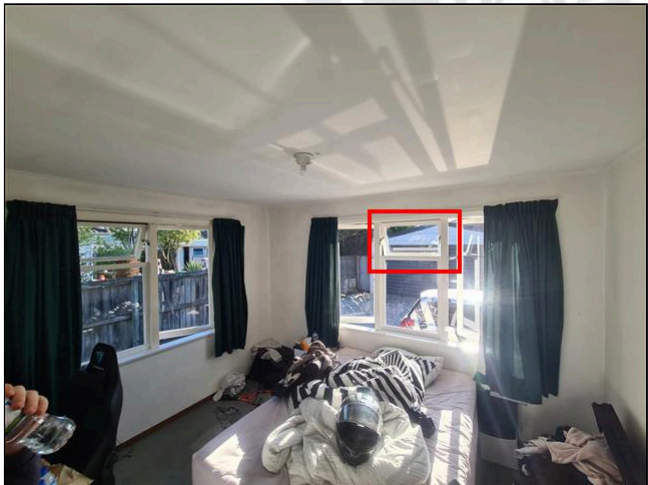
10.0 Item 5(Picture)



10.0 Item 6(Picture)



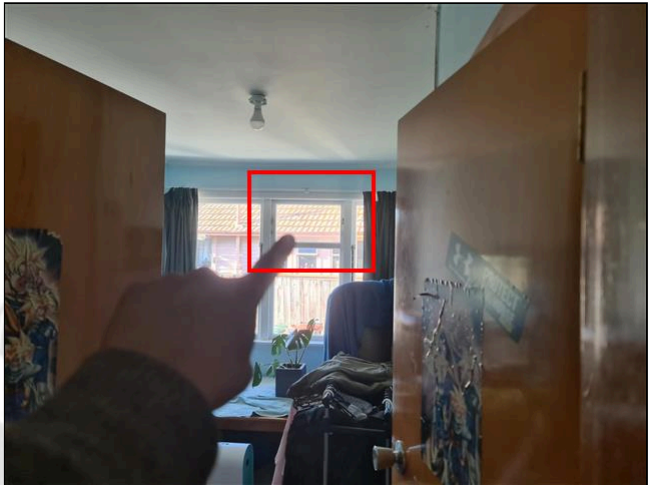
10.0 Item 7(Picture)



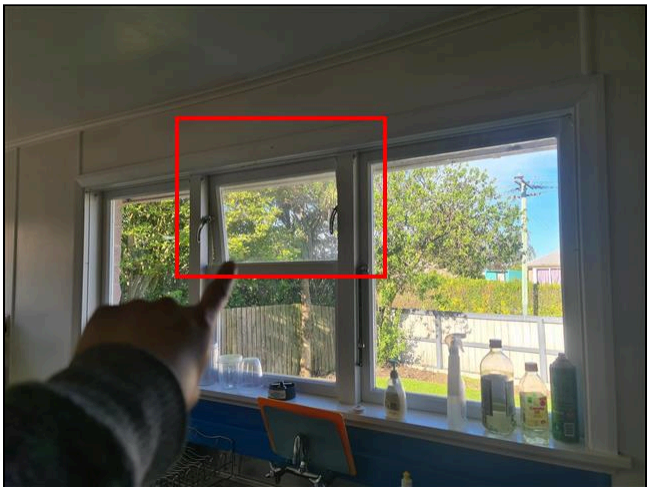
10.0 Item 8(Picture)



10.0 Item 9(Picture)



10.0 Item 10(Picture)



10.0 Item 11(Picture)

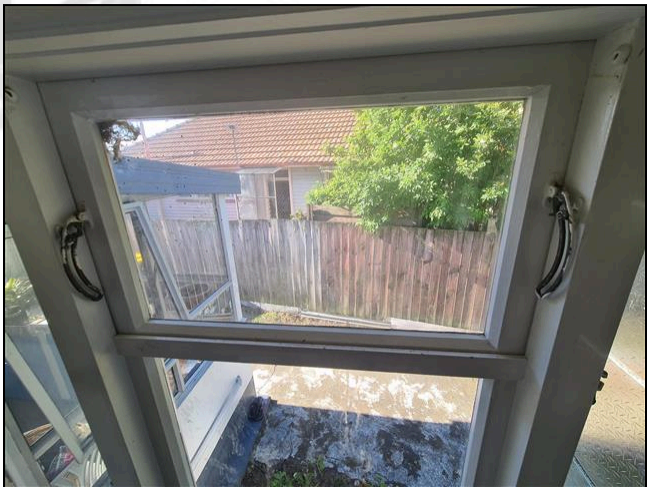
10.0 (2) No draught found in the rest of the property.



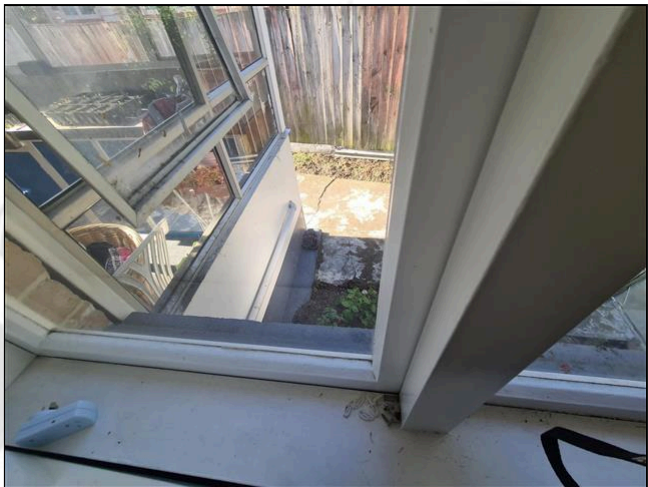
10.0 Item 12(Picture)



10.0 Item 13(Picture)



10.0 Item 14(Picture)



10.0 Item 15(Picture)



10.0 Item 16(Picture)



10.0 Item 17(Picture)



10.0 Item 18(Picture)



10.0 Item 19(Picture)



10.0 Item 20(Picture)



10.0 Item 21(Picture)



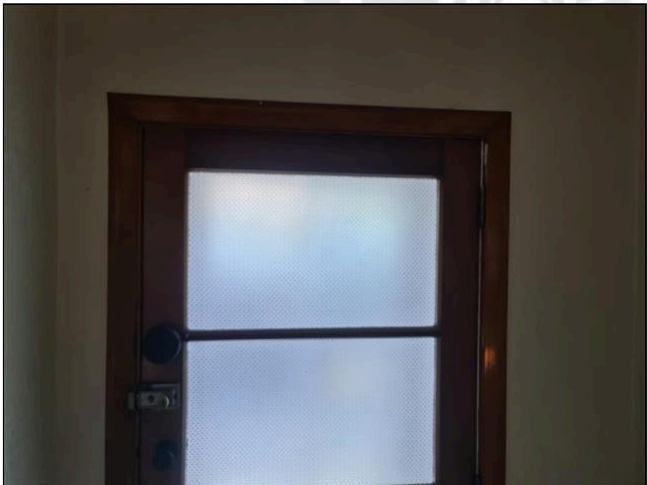
10.0 Item 22(Picture)



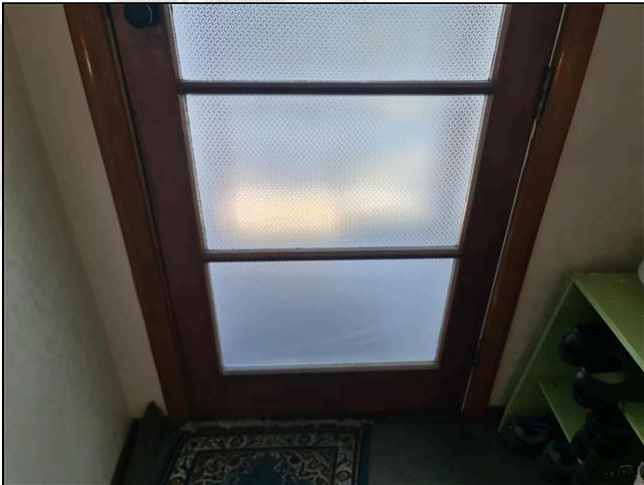
10.0 Item 23(Picture)



10.0 Item 24(Picture)



10.0 Item 25(Picture)



10.0 Item 26(Picture)



10.0 Item 27(Picture)



10.0 Item 28(Picture)



10.0 Item 29(Picture)



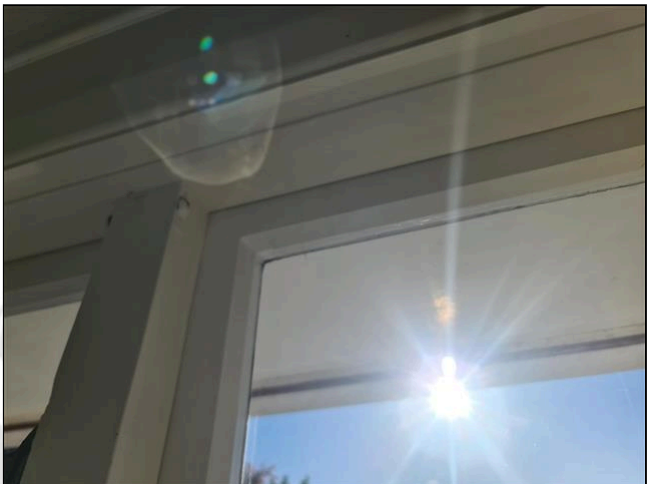
10.0 Item 30(Picture)



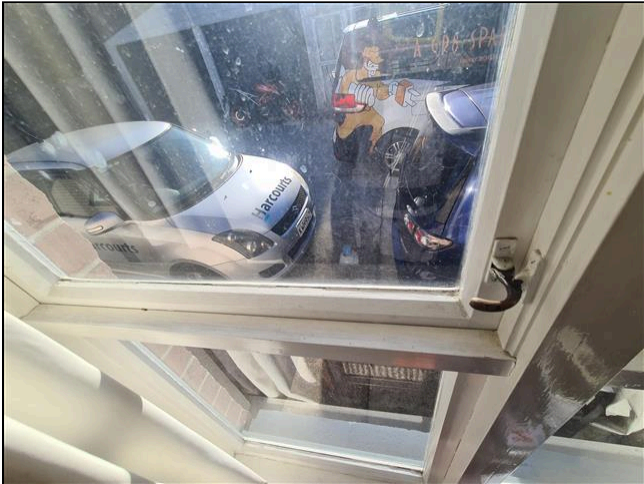
10.0 Item 31(Picture)



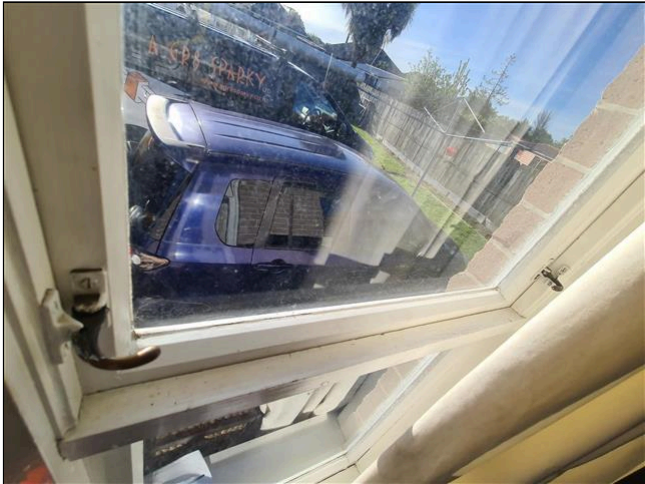
10.0 Item 32(Picture)



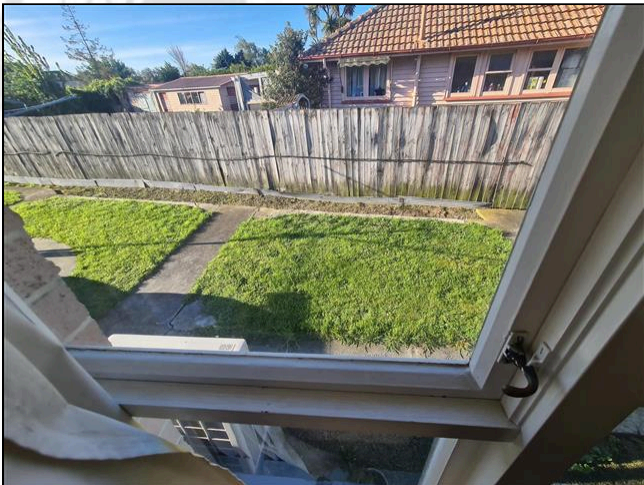
10.0 Item 33(Picture)



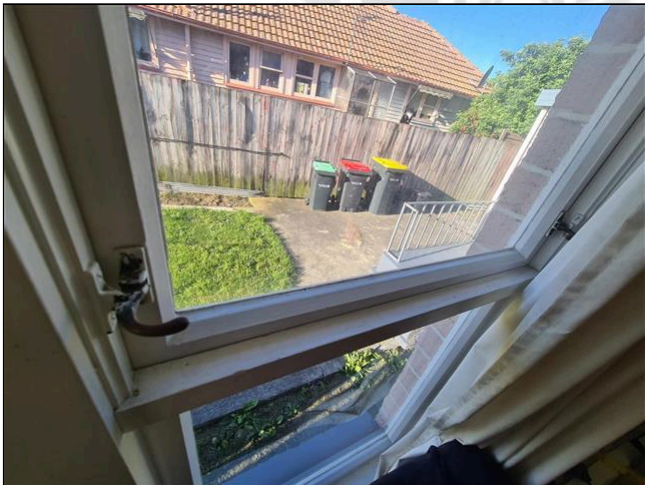
10.0 Item 34(Picture)



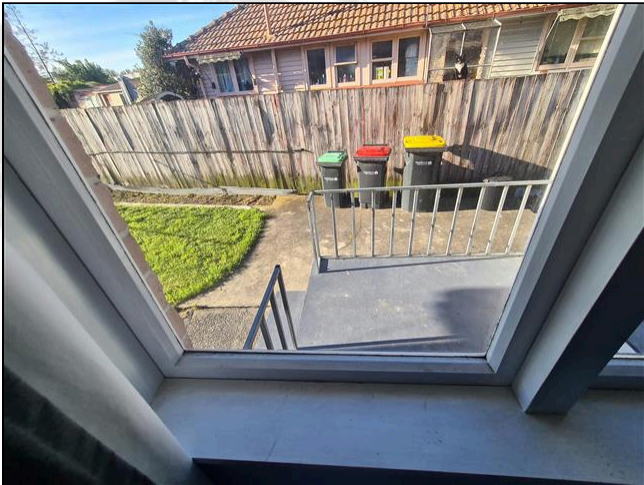
10.0 Item 35(Picture)



10.0 Item 36(Picture)



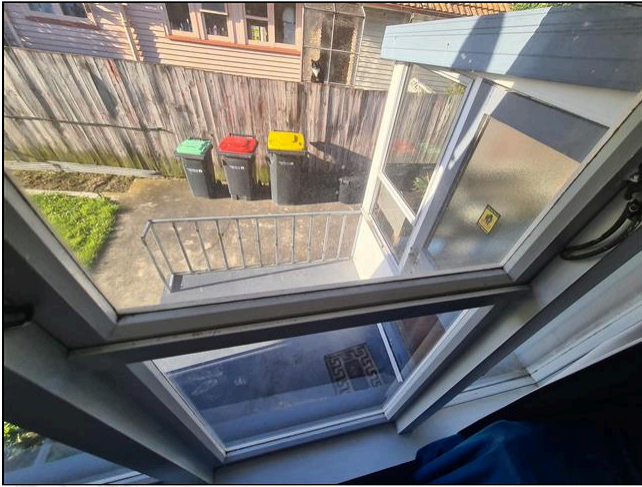
10.0 Item 37(Picture)



10.0 Item 38(Picture)



10.0 Item 39(Picture)



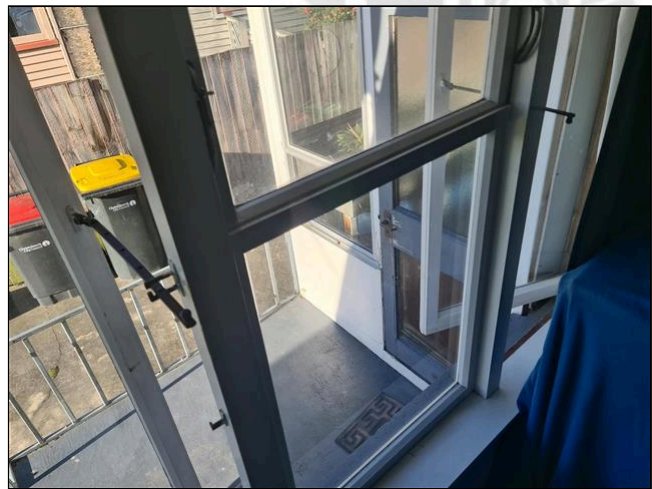
10.0 Item 40(Picture)



10.0 Item 41(Picture)



10.0 Item 42(Picture)



10.0 Item 43(Picture)

Does not meet the requirements by the Residential Tenancy Act 2016

Does not meet the requirements by the Healthy homes standards

11. HEATING STANDARD

All rental properties must have one or more fixed heaters, which can directly heat the main living room and meet a required heating capacity. Certain heating devices that are inefficient, unaffordable or unhealthy will not meet the requirements of this standard. A heating assessment tool is provided at tenancy.govt.nz/heating-tool, which provides a report that shows the minimum heating capacity required. It can be used to check if current heating is sufficient to meet the standard, or if it is necessary to install a new heater.



Inspection Details:

Required Capacity:	Primary Heating Capacity:	Primary Heater Location:
3.7kW	5.8kW	Living room m² : 19.05
Primary Heater Type:	Primary Heater Made:	
Air Condition/Heatpump	Mitsubishi-Electric Model : MSZ-GE50VAD	

		Pas	Fai	N/A
11.0	There is at least one heating source in the main living room	•		
11.1	The heater is in working order	•		
11.2	The total heating capacity is at least 90% of required capacity	•		
		Pas	Fai	N/A

Pas= Pass, Fai= Fail, N/A= Not Apply

Comments:

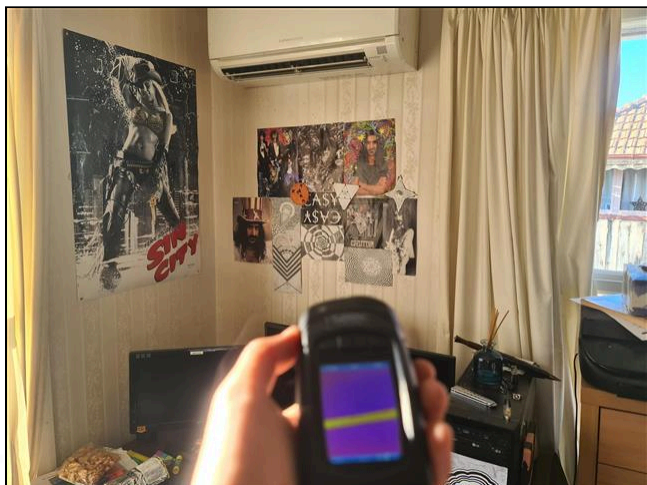
11.0 Primary heater details.



11.0 Item 1(Picture)



11.0 Item 2(Picture)



11.0 Item 3(Picture)

Meets the requirements by the Residential Tenancy Act 2016

Meets the requirements by the Healthy homes standards

12. OTHER THINGS TO KNOW

		Att
12.0	Pest control	•
		Att

Att= Attention

Comments:

12.0 Potential rodent infesting access way found in the yellow marked area. Suggest to seal up.



12.0 Item 1(Picture)

Summary



QUALITY CLEAN
0800 244 002
One Step Property Improvement Services

Quality Clean

Free Call: 0800 244 002

Phone: 021 2444 241

Email: info@qualityclean.co.nz

www.qualityclean.co.nz

AHC Number 000129-00000416

Customer

Dr. Sample LANDLORD

Address

31 Sample St

Fendalton

Christchurch Can 8014

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

3. INSULATION-CEILING



3.1 Ceiling insulation free of dent and gap

Pass

Insulation with gaps, some are piled up, and some are scattered around, However not in major.

4. INSULATION-UNDERFLOOR



4.1 Underfloor insulation free of dent and gap

Fail

There are missing insulation close to the foundation concrete. And about 2/3 insulation has been installed with air gaps.

Please refer [New Zealand Standard \(Energy efficiency - Installing bulk thermal insulation in residential buildings\) 4246:2016](#) section 7.3. to see correct actions:

Action 6: "Run the product in a continuous length between the floor joists and over the main bearers. Ensure that any designated outer layer of the insulation product is facing downwards. In situations where there are blocks between floor joists do not run insulation over these. Make sure insulation stops and starts each side of any such blocking.

Action 7: "Install insulation so that it touches the underside of the floor, without being compressed. Pull insulation tight between the joists to ensure there is no air gap or air movement between the insulation material and the floor, but not so tight as to affect the material loft or thickness"

8. MOISTURE INGRESS & DRAINAGE



8.5 GUTTERS & DOWNPIPES ARE FREE of BLOCKAGE

Fail

The gutter is almost blocked at the marked area, needs to be cleaned and tested again.

8.6 DOWNPIPES DIRECT WATER to AN APPROPRIATE OUTFALL

Fail

(1) Unable to check where the downpipe outside the laundry goes into, Please provide the storm water drainage plan for further action.

8.8 NO RAINWATER DISCHARGED UNDER FLOOR or TOO CLOSE to HOUSE

Fail

Please see 8.6.1

8.9 NO LEAKS FROM WET AREAS SUCH as BATHROOM & KITCHEN SINK

Fail

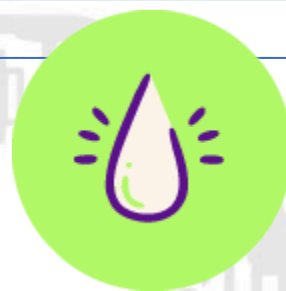
(1) The Hot water cylinder is consistently leaking to the subfloor. The hot water cylinder is due to be replaced, further plumbing action required.

8.10 NO SURFACE WATER SURROUNDING FLOWING UNDER THE BUILDING

Not Apply

There are some surface water on the concrete path, it may be from the water tap in the corner.

9. GROUND MOISTURE BARRIER



9.0 Ground moisture barrier inspection around manhole

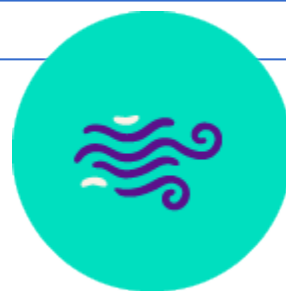
Fail

Missing ground moisture barrier in the subfloor around the concrete foundation walls.

The Ground moisture barrier should be polythene film with a vapour flow resistance of no less than 50 MN s/g and a thickness of no less than 0.25mm. Suggest to use 250 micron polythene.

- Inside edge of the foundation walls and around the piles, There should be at least 50mm folded up polythene and taped to the piles.
- All joins and cuts should be taped, the tape should cover each side of the join at least 50mm.
- The overlap joins between polythene sheet should be at least 150mm.
- The overlaps and edges should be pinned or weight down at intervals of no more than 1m

10. DRAUGHT STOPPING STANDARD



10.0 No unreasonable gaps and holes in walls, ceilings, windows, floors and doors $\geq 3\text{MM}$

Fail

(1) Draughts found in the kitchen, bedroom 1,2,3, toilet, need to be sealed.

12. OTHER THINGS TO KNOW

12.0 Pest control

Attention

Potential rodent infesting access way found in the yellow marked area. Suggest to seal up.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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AHC Number 000129-00000416

Report Attachments

[Sample Tenancy Services Heating Report](#)

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.